

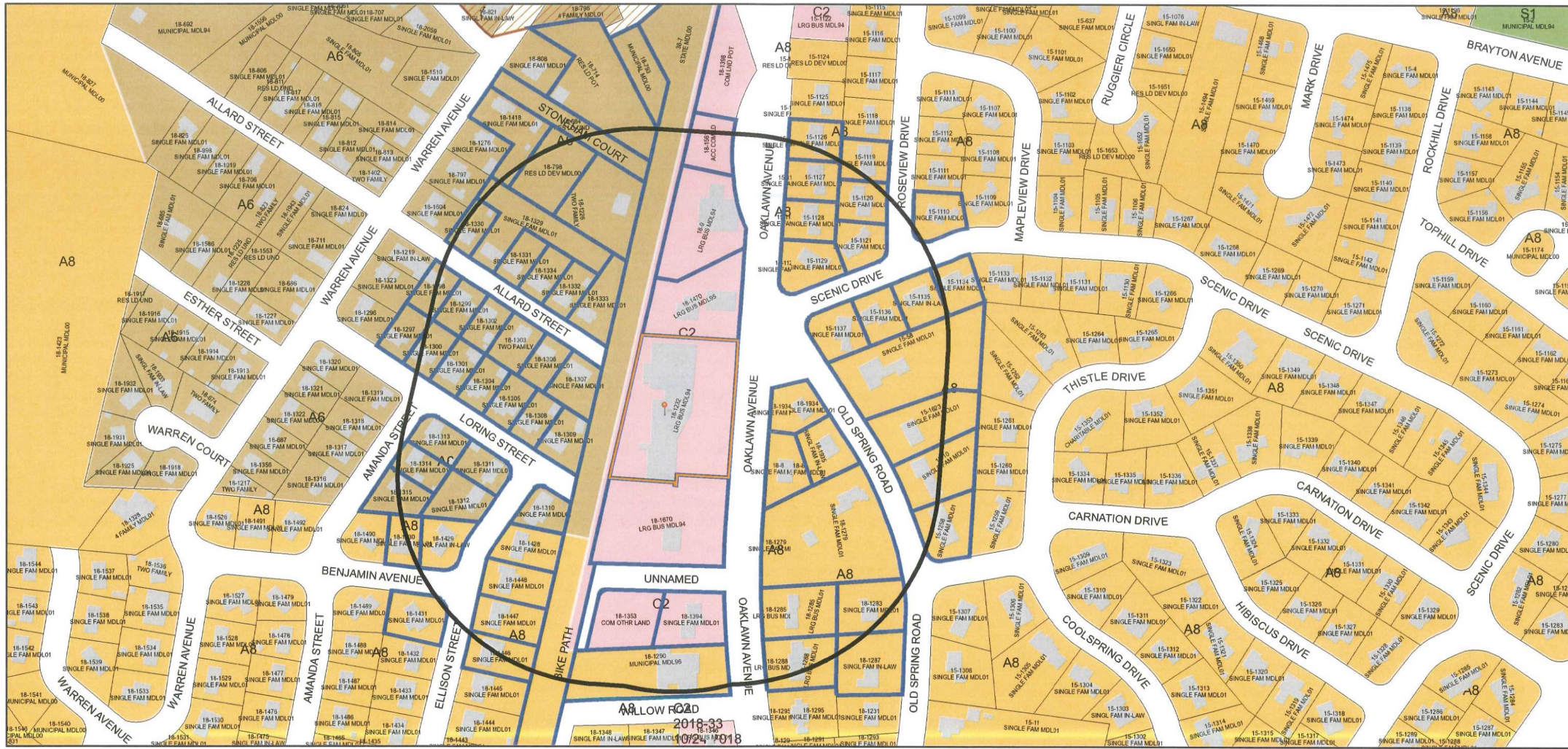
► **Ward 6**

► **COMMONWEALTH ASSOCIATES, LLC (OWN) and J&J GASBARRO OAKLAWN LIQUORS (APP)** have applied to the Board to install a new sign exceeding the allowable area and add a new LED message center at **985 Oaklawn Avenue**, A.P. 18, lot 1232, area 66, 646 sf. zoned C2. Applicants seek relief per Section 17.92.010- Variances; Section 17.72.010- Signs.

► Application filed 5/11/2023. David V. Igliazzi, Esq.



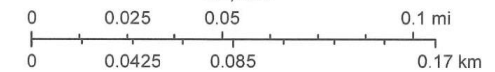
985 Oaklawn Ave 400' Radius Plat 18 Lot 1232



3/20/2023, 10:09:39 AM

Parcel ID Labels		Historic Overlay District		A8		C3		MPD
Streets Names		Zoning		A6		C4		S1
—		Cranston Boundary	none			C5		Other
		Parcels	A80			M1		
		Buildings	A20			M2		
Zoning Dimensions	A12			C2		EI		

1:2,225



City of Cranston

REFERENCE:

1. R.I. STATE HIGHWAY PLAT 616
2. DEED BK. 500 / PG. 884
3. "SURVEY OF OAKLAWN PLAZA PLAT" PLAT CARD 606

EXISTING COMMERCIAL BUILDING
 985 OAKLAWN AVENUE
 A.P. 18-4 / LOT 1232
 N/F
 COMMONWEALTH ASSOCIATES LLC

OAKLAWN LIQUORS #985

EXISTING PARKING LOT



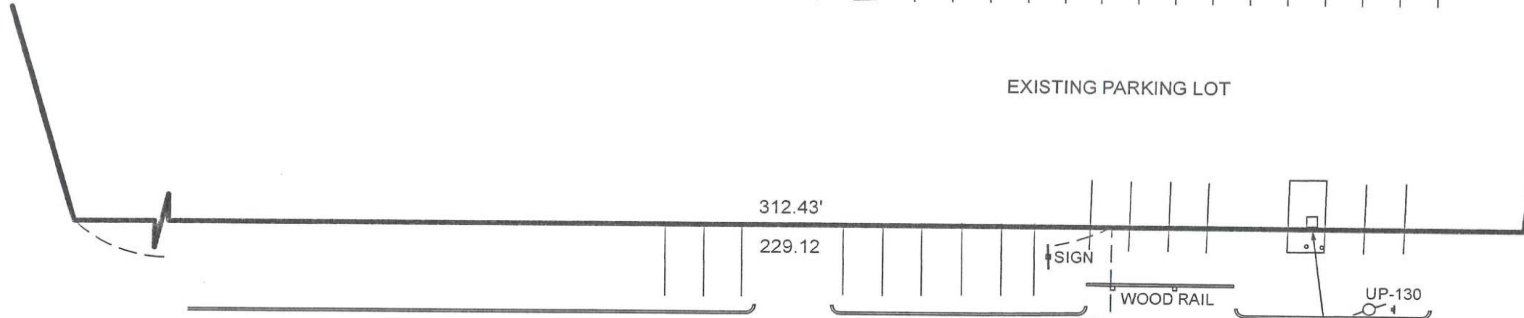
LOCUS MAP

ZONING DISTRICT C-2

MINIMUM LOT AREA 6,000 S.F.
 MINIMUM LOT FRONTAGE 60 FT.
 MINIMUM SETBACKS: FRONT 25 FT.
 SIDE 8 FT.
 REAR 20 FT.
 MAXIMUM BUILDING HEIGHT 30'
 MAXIMUM LOT COVERAGE 60%

MOBIL STATION

164.27'
 S 75°31'03"E



R.I. HIGHWAY BOUNDS FOUND
 22+00.88 R= 40.00'

CENTER LINE SHP # 616

OAKLAWN AVENUE

(80' PUBLIC / ROUTE 5)

EXISTING SIGN POST
 MAY 4, 2023

SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION:

LIMITED CONTENT BOUNDARY SURVEY CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH BOUNDARY LINES FOR SIGN LOCATION.

BY: *[Signature]* DATE: 5/08/2023

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60



R.I. HIGHWAY BOUND FOUND
 24+25.00 R=117.00

NOTE:

ON-PREMISE ADVERTISING SIGN
 ACKNOWLEDGMENT FROM RIDOT 2/27/23

SIGN RELOCATION PLAN

A.P. 18-4 / LOT 1232
 985 OAKLAWN AVENUE
 CRANSTON, R.I.

SCALE: 1"= 30' DATE: MAY 4, 2023

PREPARED FOR:

OAKLAWN LIQUORS

985 OAKLAWN AVENUE
 CRANSTON, R.I. 02920

PREPARED BY:

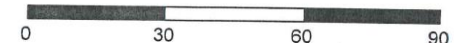
OCEAN STATE PLANNERS, INC.

1255 OAKLAWN AVENUE, CRANSTON, RI 02920

PHONE: (401) 463-9696 info@osplanners.com

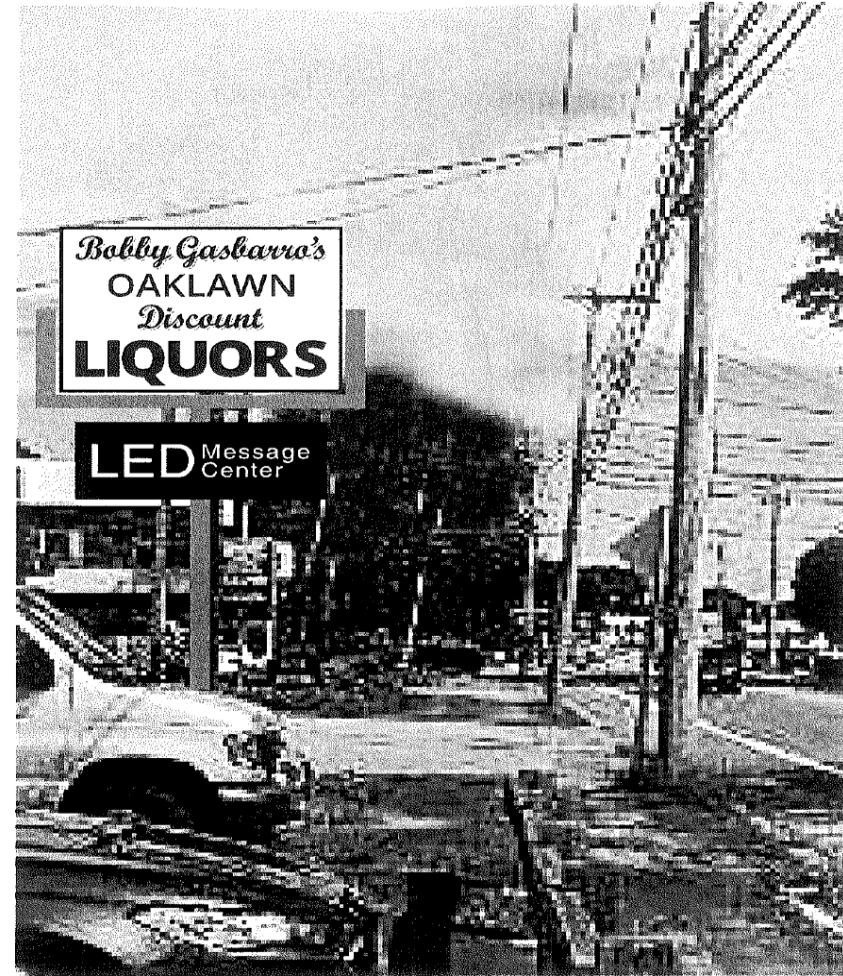
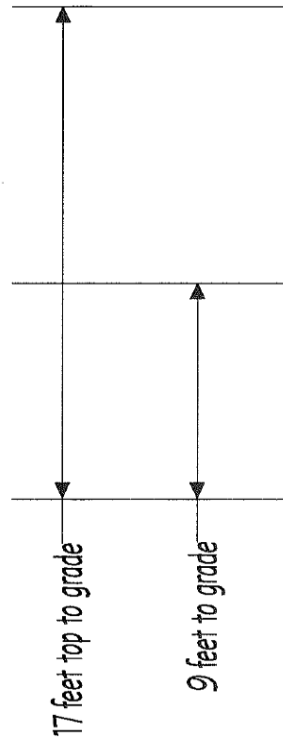
JOB NO. 9618 / DWG. NO. 9618 - (JNP)

GRAPHIC SCALE / 1" = 30'





Existing sign - 60" X 84", total 35 sq ft.
 "Ice" sign - 24" X 60", total 10 sq ft.
 Total 45 sq ft.



Existing sign - 60" X 84", total 35 sq ft.
 New LED sign 28" X 75", total 14.58 sq ft.
 Total 49.58 sq ft.

JOB:
GASBARORO LIQUORS

FILE:
GASBARORO LIQUORS_SIGN W LED DISPLAY_1 31 20

PROJECT MANAGER:
BS

CLIENT APPROVAL

LOCATION:
985 OAKLAWN AVE CRANSTON RI

DATE:
1 31 20

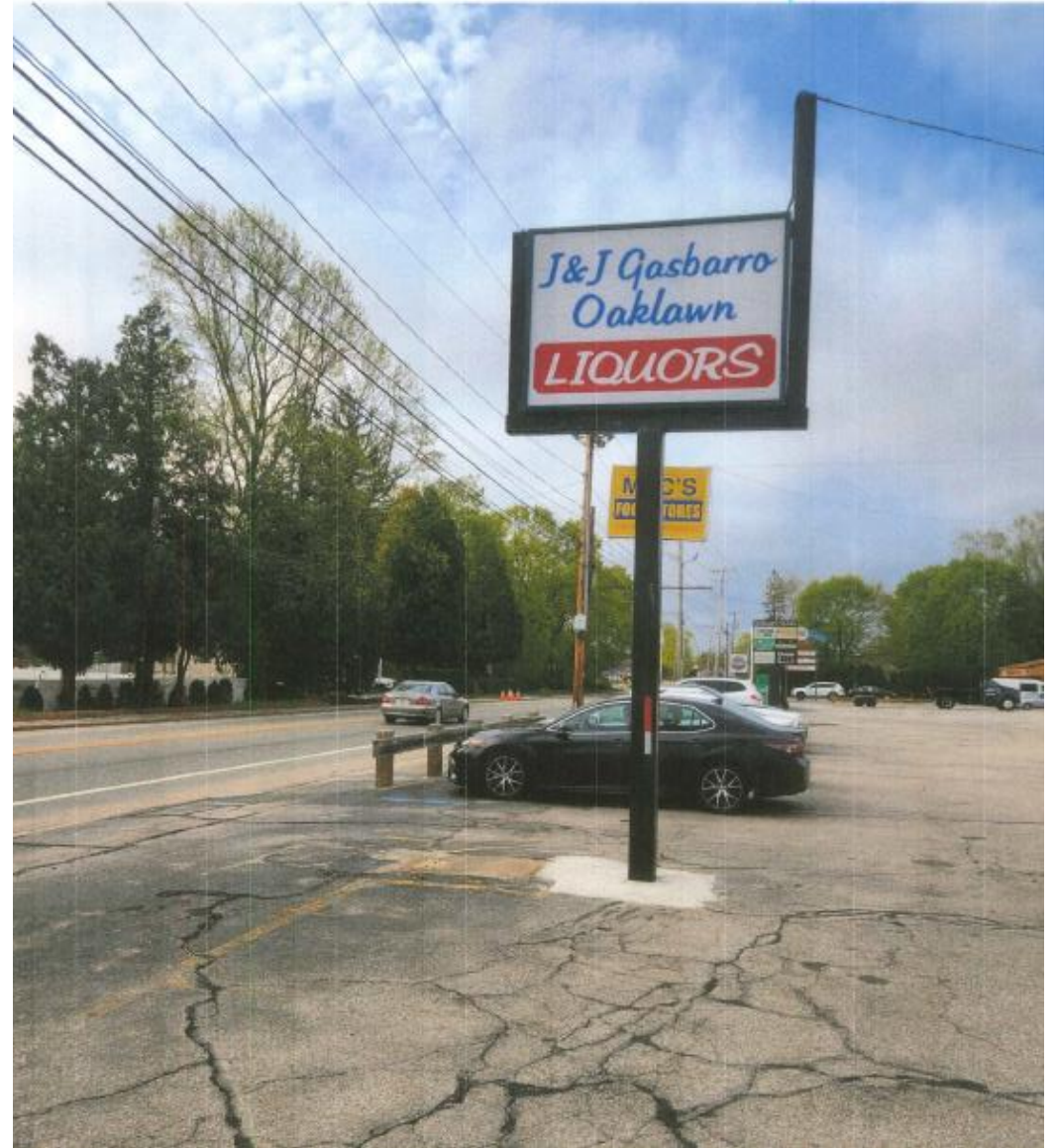
DESIGNED BY:
KRK

NOTICE TO CLIENT
 This drawing is a representation of how your signage will appear. By signing this drawing you are accepting the design as it is presented on this page.



221 Jefferson Boulevard - Warwick, RI

V / 401.738.8055 F / 401.738.8244



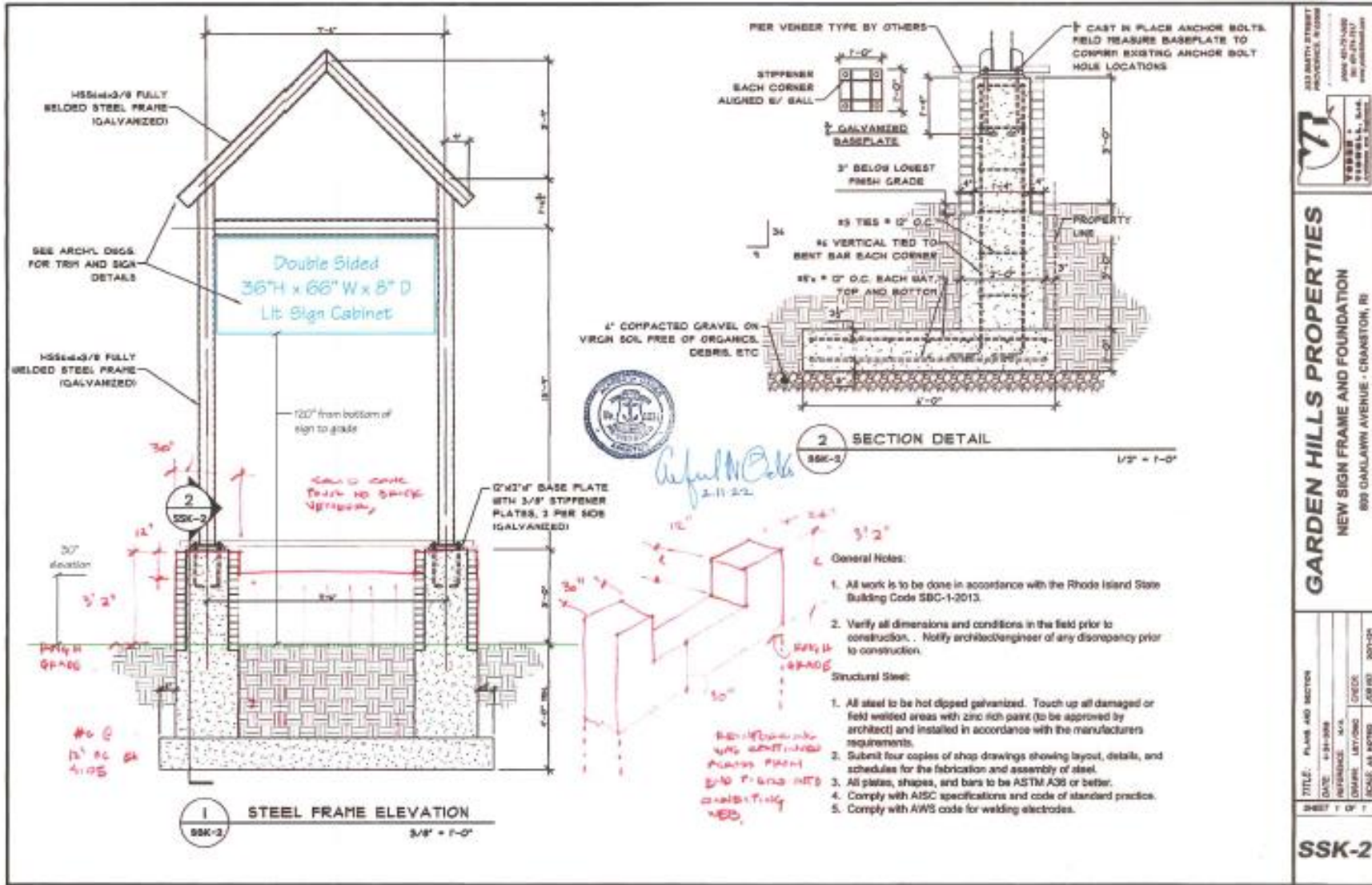
► **Ward 6**

► **DOMAIN REALTY, LLC (OWN/APP)** has applied to the Board to construct a new free-standing sign within the required setbacks from the street(s) and within the area required as to not impede corner visibility; and to waive the required Development Review Process for the site at **846 Oaklawn Avenue**, A.P. 15, lot 361; area 15,490 s.f. zoned C3. Applicant seeks relief per 17.92.010- Variances; Sections 17.20.100(A)- Corner Visibility; 17.72.010- Signs; 17.84, et seq- Development Plan Review.

► Application filed 7/06/2023. Joseph P. Carnevale, Esq.







300 BATHY STREET
PROVIDENCE, RI 02909

AA Thrifty
SIGN & AWNING

300 BATHY STREET
PROVIDENCE, RI 02909
TEL: 401-736-8253
WWW.AA Thrifty SIGN & AWNING.COM

GARDEN HILLS PROPERTIES
NEW SIGN FRAME AND FOUNDATION
800 GARLAWN AVENUE - CRANSTON, RI

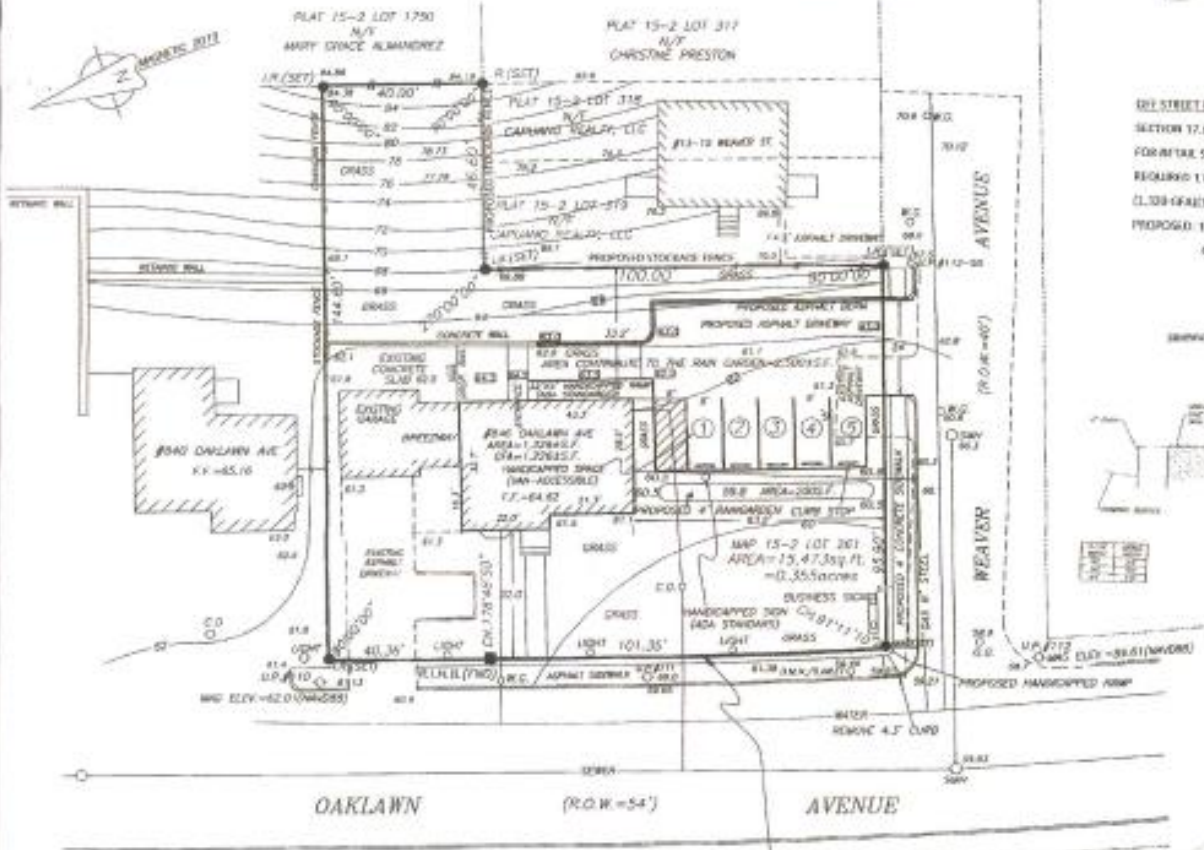
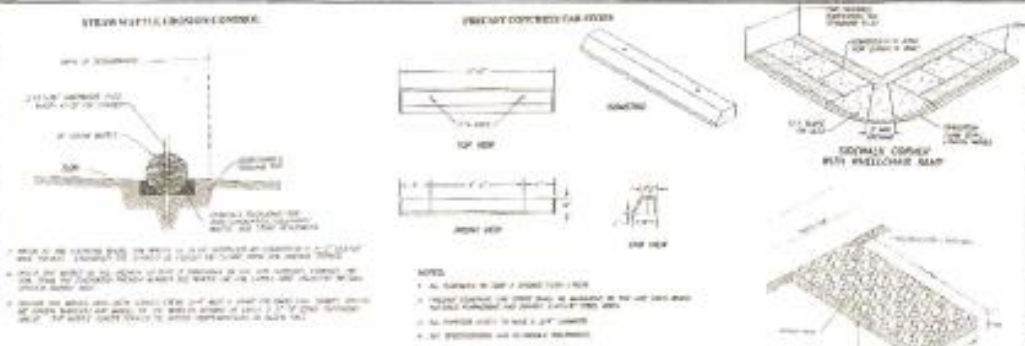
TITLE:	PLAN AND SECTION
DATE:	6-21-2018
REFERENCE:	S.A.
OWNER:	LETICIA G. CRICK
SCALE:	AS NOTED
JOB NO:	2017-09

SSK-2

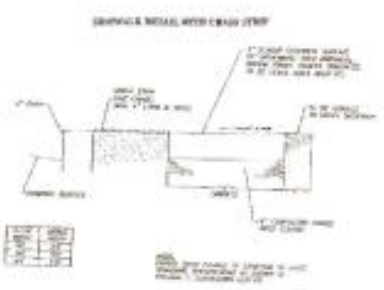
No Scale

JOB: 2022 Garden Hills	FILE: C-846oaklawn	PROJECT MANAGER: Kevin F	CLIENT APPROVAL: Date _____
LOCATION: 846 Oaklawn Ave., Cranston, RI	DATE: 3/1/22	DESIGNED BY: JSR	NOTICE TO CLIENT: This drawing is a representation of how your signage will appear. By signing this drawing you are accepting the design as it is presented on this page.
	REVISED: X		221 Jefferson Boulevard, J. Warwick, RI 401-736-8253 401-718-8314 www.aathrifty.com

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DEVELOPER'S NOTES:
SECTION 17.6A.01D
FOR RETAIL SERVICE & BUSINESS ESTABLISHMENT
REQUIRED 1 PARKING SPACE FOR EVERY 100 GFA
CLUB (FRONT/BACK/DRIVE)- 4.4-5 SPACES
PROPOSED 1 HANDICAPPED VAN ACCESSIBLE SPACE
4 REGULAR SPACES



FLOODING:
THIS PARCEL IS LOCATED IN FLOOD ZONE-A WHICH DETERMINED BY FEMA FOR THE CITY OF CRANSTON, COUNTY OF PROVIDENCE. SETS OF WHICH CLASS AS AREAS OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN MAP NUMBER 1A0030124H. EFFECTIVE DATE: OCTOBER 2, 2015.
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:
TYPE OF BOUNDARY SURVEY- LIMITED COVENANT BOUNDARY SURVEY
REGULATORY SPECIFICATION- CLUST I
CROSSROAD SURVEY- 12
THE COMPASS FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
DETERMINE THE PROPERTY LINES AND LOCATE THE EXISTING STRUCTURES ON THE SURVEYED PROPERTY.
[Signature]
MARCUS A. BENTLEY
REGISTERED PROFESSIONAL LAND SURVEYOR



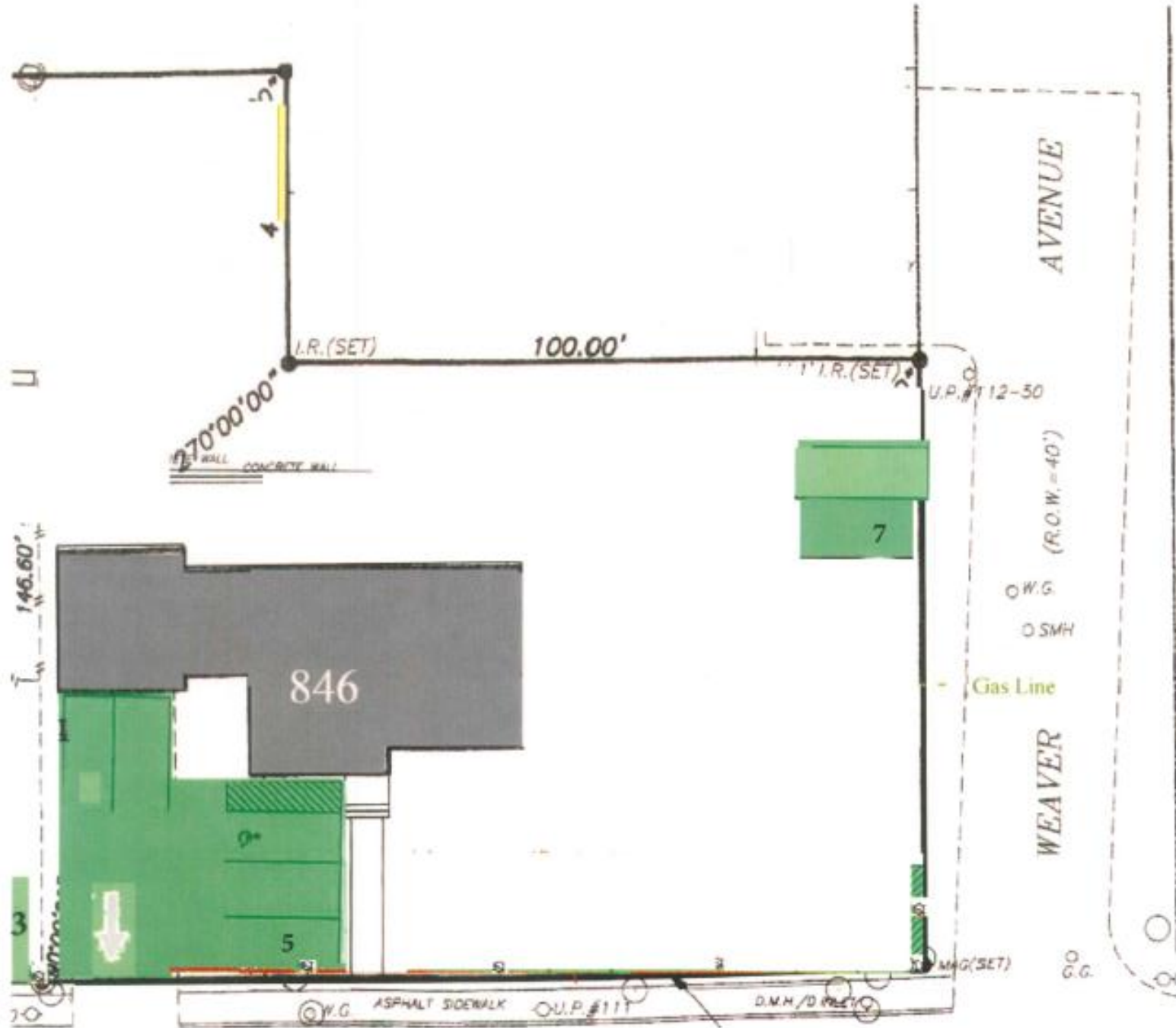
SURVEY & PLAN
FOR
MONTECATINI PROPERTIES/ DOMAIN REALTY
846 OAKLAWN AVENUE
CRANSTON, RHODE ISLAND
MAP 15-2 LOT 361

NRC ASSOCIATES
P.O. BOX 14459
EAST PROVIDENCE, RHODE ISLAND 02914
(401)954-0206

DRAWN BY	K.L.L.
CHECKED BY	N.Y.R.
APPROVED BY	N.Y.R.
SCALE	1" = 30'
DATE	JAN 5, 2022
PROJECT NAME	OAKLAWN AVE
	1 of 1

NUMBER	DATE	REVISION	BY
2	JAN 25, 2022	REVISION	N.Y.R.
1	FEB. 7, 2023	PARKING & HANDICAPPED RAMP	N.Y.R.

NOT Proposing to do items marked proposed
Stamped plans for existing concrete base for steel frame



Parking needed: Mercantile 1 per 300 = 5 (1,320 sq ft Mercantile)





► **Ward 1**

► **JO-ANN GORMAN (OWN/APP)** has filed an application to allow a pool deck to be constructed in a required front yard setback of a corner lot at **45 Fairlawn Street, A.P. 4, lots 1447 & 1448; area 8,350 s.f.; zoned A6.** Applicant seeks relief per 17.92.010-Variances; Sections 17.20.120 – Schedule of Intensity Regulations; 17.60.010- Accessory uses.

► Application filed 7/19/2023. No Attorney.



LAKESIDE AVENUE

(public 50' wide)



ZONING DATA:

CLASSIFICATION : A6

MINIMUM LOT AREA = 6,000 s.f.

MINIMUM LOT FRONTAGE = 60 ft.

SETBACKS :
 FRONT = 25 ft.
 SIDE = 8 ft.
 REAR = 20 ft.

FLOOD DATA:

ENTIRE PARCEL IS NOT LOCATED IN ANY AREA OF FLOOD HAZARD
 ON FIRM COMMUNITY PANEL 44007C0318H EFFECTIVE 10/02/2015

REFERENCES:

- 1.) CRANSTON ASSESSORS PLAT NO. 4
- 2.) CRANSTON DEED BOOK/PAGE;
 3522/179, 1956/158, 5062/59 & 534/982
- 3.) CRANSTON RECORDED PLAT CARD 174
 "PARK VIEW" by J.A.LATHAM - 1905

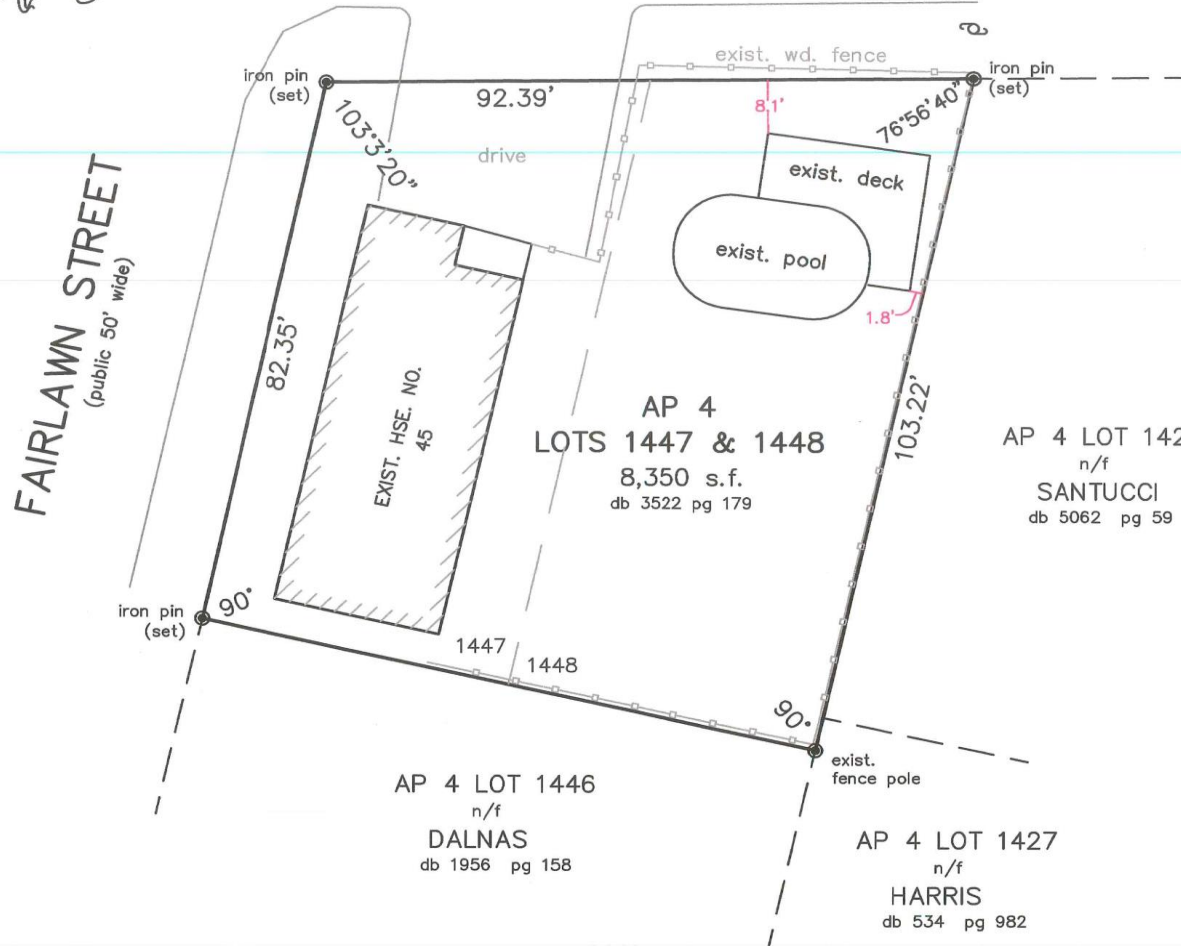
SURVEY CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION - PLANIMETRIC	CLASS II

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

PERFORM A CLASS 1 PROPERTY SURVEY AND SHOW EXISTING HOUSE AND FENCES



SURVEY PLOT PLAN A.P. 4 LOT 1447 & 1448 CRANSTON, R.I.

1" = 20' JULY 17, 2023

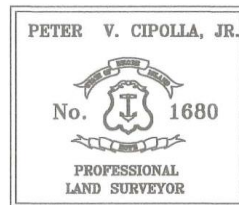
PETER V. CIPOLLA, JR.

professional land surveyor

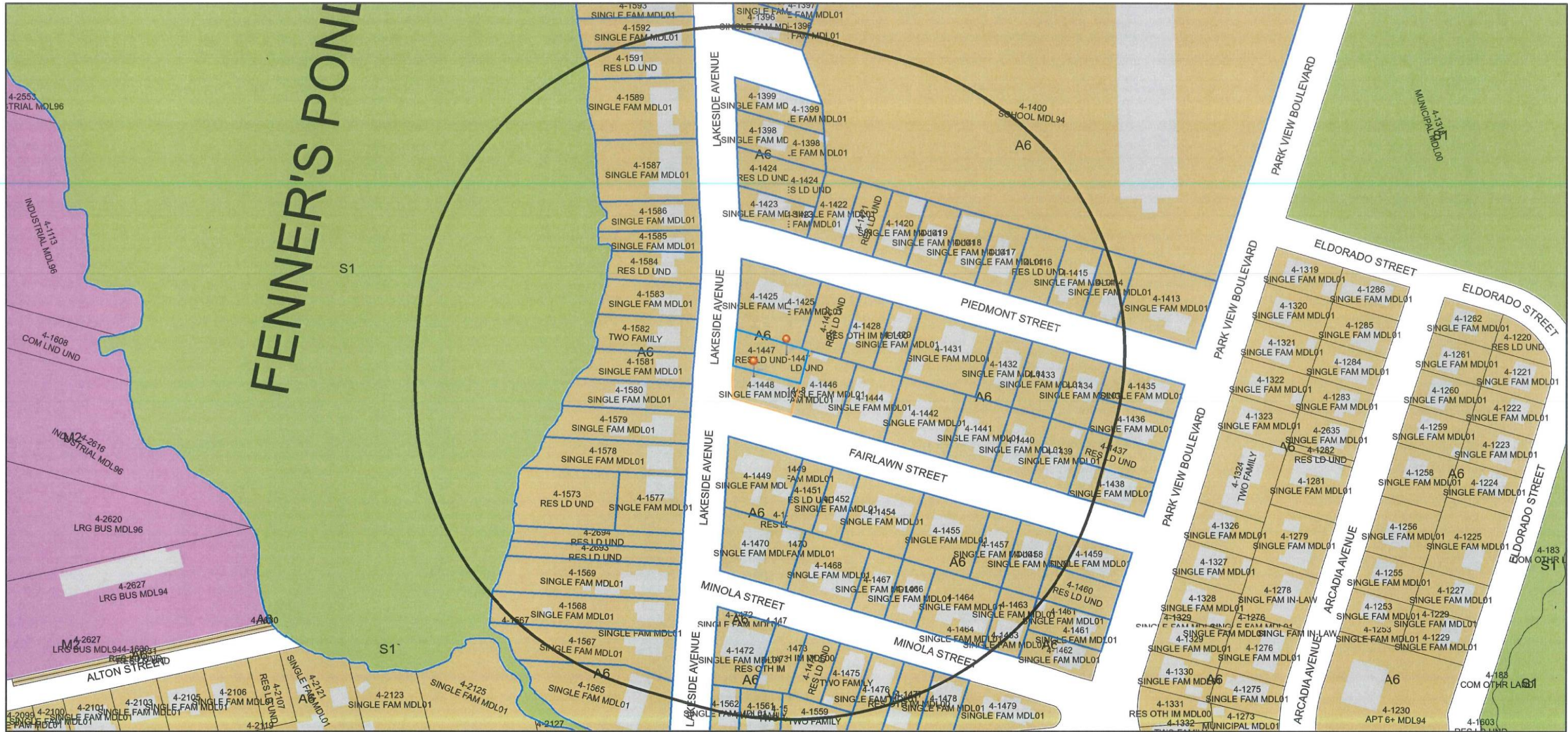
P.O. BOX 8662 - CRANSTON, R.I. - 02920

BY: Peter V. Cipolla, Jr.

PETER V. CIPOLLA, JR. - RIPLS # 1680
 COA # LS-A64

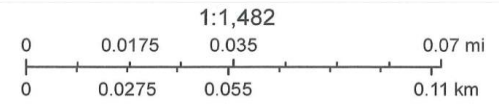


0 Lakeside Ave 400' Radius Plat 4 Lot 1447



7/5/2023, 7:56:49 AM

UserSelectedParcels	□ Parcels	□ A80	□ B2	□ M1
vParcels_Buffer	■ Buildings	□ A20	□ C1	□ M2
ParcelsInBufferOutput	▬ Zoning Dimensions	□ A12	□ C2	□ EI
Parcel ID Labels	⚡ Historic Overlay District	□ A8	□ C3	□ MPD
Streets Names	Zoning	□ A6	□ C4	□ S1
— Cranston Boundary	none	□ B1	□ C5	□ Other



City of Cranston





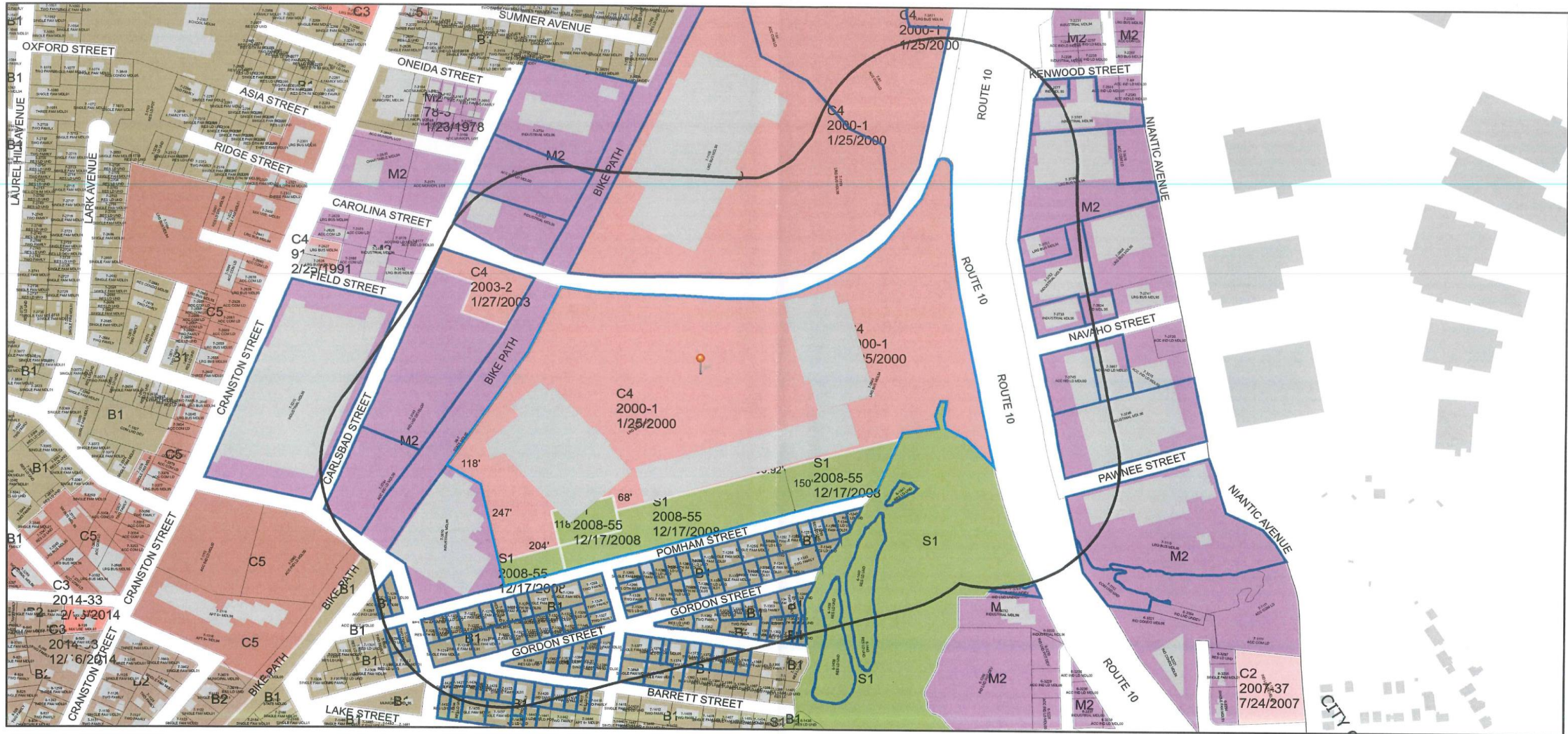
► **Ward 3**

► **CRANSTON BVT ASSOCIATES LP (OWN) and FIVE BELOW (APP)** have applied to the Board to request permission to install signs greater than which is allowed by regulations at **252 Garfield Avenue, A.P.7**, lot 3649; area 27.46 ac, zoned C4. Applicants seek relief per Section 17.92.010- Variances; Section 17.72.010- Signs.

► Application filed 8/08/2023. Robert D. Murray, Esq.

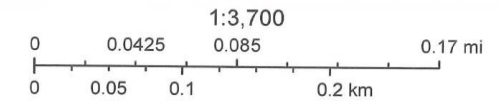


252 Garfield Ave 400' Radius Plat 7 Lot 3649



8/7/2023, 2:28:44 PM

Selected Parcels in Buffer	Parcels	A80	B2	M1
Selected Parcels	Buildings	A20	C1	M2
Parcels In Buffer	Zoning Dimensions	A12	C2	EI
Parcel ID Labels	Historic Overlay District	A8	C3	MPD
Streets Names	Zoning	A6	C4	S1
Cranston Boundary	none	B1	C5	Other



City of Cranston

five BELOW

Cranston, RI - Cranston Parkade
310 Garfield Ave., Cranston, RI 02920



workscope

sign#	description	Sq. Ft.	quantity	weight	electrical	notes
1	48" Channel Letters w/ 14.5" Tagline	133.9 ft ²	1	330 lbs	9.9"@120"	NTE 30.0 ft ² - Variance Required
2	D/F Under Canopy Sign	5.0 ft ²	1	25 lbs	N/A	
3&4	Temp Banners	N/A	1 of each	N/A	N/A	
5	Post & Panel Temp Sign	N/A	1	165 lbs	N/A	

Sign #1

Sign #2

five BELOW
hot stuff. cool prices.



Signs #3 & 4

Sign #5



code

This drawing is based on the following code information:
Front Elevation Code Calculation: NTE 30 sq. ft.
Blue Background Included In SF: No

document approval

reviewed by:
date:
 approved approved as noted not approved

note

This drawing is based on the provided resources:
Architect:
Project:
Date:

The general contractor, client, architect, etc. are responsible for supplying updates to Cima as they occur. If there are drawing inaccuracies or questions concerning clarification on signage or signage requirements such as electrical & blocking, please contact:

Lindsey Lupino - Sr. Project Manager
lupino@cimanetwork.com

icon key

- Remove
- Primary Power J/B Location
- Survey Verified Dimension
- Field Verification Required
- Remain As-Is
- Primary Power Whip Location
- Code Compliance
- Engineer Stamp Required
- Relocate
- Power Supply Location
- ADA Compliant Verified
- Additional Info Required
- Call 811 before you dig

revisions

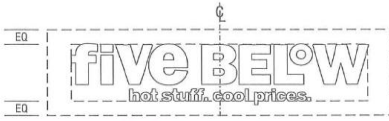
rev #	date	by:	description
1	XX.XX.XX	XX	X
2			
3			
4			
5			
6			
7			
8			

Engineer: X
License No: X
Building Code: X
Basic Wind Speed: X
Risk Category: X

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partial elevation

Photo Renderings Are Estimated & May Not Be Accurate. All Proportions, Dimensions And Mounting Details Must Be Verified Via Technical Survey And/Or Architectural Drawings.



CENTER SIGN IN AVAILABLE AREA



1 Front Elevation - Proposed Rendering
2 Not To Scale

Survey Notes:

- Verify Canopy construction and method of installation of proposed signage
- Verify Roof line location and final frame fabrication and placement.

Sign Installer Notes:

- To Supply & Utilize appropriate installation hardware to meet actual wall conditions; determined @ survey or time of instal.
- Complete Final Hookup to Signage, if local code allows & supply is provided @ time of Installation.
- All Visible Wiring & Conduit to be Run in Straight Lines & 90° Sweeps.

General Contractor Note:

- G.C. to provide F.R.T. blocking or Sheet metal strapping at signage location as specified by Cima.
- G.C. to provide Primary Power Junction Box @ remote location. Verify final location of Junction Box meet the requirements of permanently accessible for service, & within 5'-0" from signage location.
- G.C. to provide access hatch for sign wiring.

Additional Information Req'd.



Engineer: X
License No: X
Building Code: X
Basic Wind Speed: X
Risk Category: X

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LANDLORD NOTES

Facade:

- LL to engineer and build up parapet, height to match existing parapet peak.
- LL to refurbish existing storefront to like-new condition.
- LL to locate 8' tall storefront doors per tenant's final plans.
- LL to install walkway lighting, 6'-0" min O.C., with additional door light.
- LL to install HILTI eyebolts in facade for temporary banners, see A40 for loc.
- LL to provide curb cut within 30' of storefront entry.
- LL to provide unobstructed permanent access to sign mountable/electrical connection area.
- LL to provide electrical to center of all applicable sign mountable areas.

Signage:

- Primary Sign: 48" internally illuminated channel letters w/ 14.5" tagline
- Temp Post and Panel: Construction sign placed near entrance
- Walkway sign: 5'-0" x 1'-0" UC Sign
- Pylon Panel: LL to provide tenant with a sign panel on the common pylon sign.
If a panel is not available, tenant has the right to take on open panel when available.

Finishes by LL:

- Facade: 3" Dryvit 456 Oyster Shell
- Signage EIFS: 1" Dryvit FIBE-101021S (to match PMS 285 C)
- Frame EIFS: 4" wide Dryvit 310 China White
- Cornice EIFS: 1" 310 China White

Building Elevations

full elevation

Photo Renderings Are Estimated & May Not Be Accurate. All Proportions, Dimensions And Mounting Details Must Be Verified Via Technical Survey And/Or Architectural Drawings.



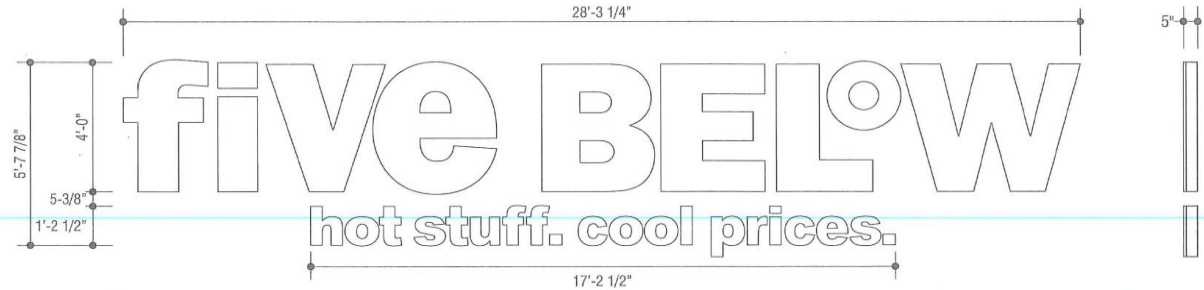
Proposed Rendering



Engineer: X
License No: X
Building Code: X
Basic Wind Speed: X
Risk Category: X

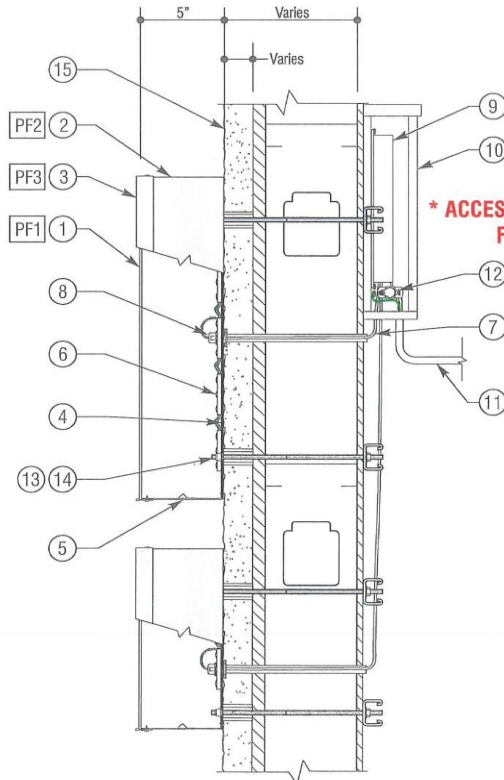
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Client: Five Below Project Manager: L. Lupino Address: 310 Garfield Ave., Cranston, RI 02920



1 48" Channel Letters w/ Tagline - FB-FB48-TAG-IL-LNR-W-RM 133.9 sf
Scale: 1/4" = 1' 0"
(1 Required)

2 Side View
Scale: 1/4" = 1' 0"



3 EIFS Attachment Detail
Scale: 1-1/2" = 1' 0"

specifications

Exterior Fabricated Face Lit LED Channel Letters w/ Trimcap Mounted To EIFS Wall System

EST WEIGHT: 330 lbs
EST ELECT LOAD: (9.9) Amps @120 Volt
ELECT REQUIREMENTS: (9) 20 Amp/120 Volt Circuits

ULTIMATE WIND SPEED: 137 MPH
NOMINAL WIND SPEED: 125 MPH
RISK CATEGORY: II (3 Sec Peak Gust MPH)
WIND IMPORTANCE FACTOR: I= 1
WIND EXPOSURE: C

WIND-BORNE DEBRIS REGION

COLORS & FINISHES

Interior Of All Letters To Be Finished White
PF1. FACE: #7328 White
PF2. RETURNS: Pre-finished Silver Metallic
PF3. TRIM CAP: To Match Returns
PF4. BACKS: Pre-finished White

SIGN CONSTRUCTION

1. FACES: .177" Thick Acrylic
2. RETURNS: 040° Aluminum Returns Stapled To Backs
3. TRIM CAP: 1" Wide w/#8 x 1/2" Lg Pan Head Screws Painted To Match. Trim Cap Chem Bonded To Faces.
4. BACKS: 3MM Routed ACM Stapled To Returns. Seal w/ VOC Compliant White Latex Caulk
5. DRAIN HOLES: 1/4"Ø With Light Cover. (2) Per Letter.

ELECTRICAL (SIGN TO BE UL LISTED)

6. LEDS: Principal True White Qwik Mod 2 Modules
7. WIRE: Secondary Low Voltage Led Wire
8. PASS THRU: Paige Wallbuster Or Approved Equal.
9. POWER SUPPLY: Principal 60 Watt 12VDC Class 2 Power Supply Inside Enclosure.
10. ENCLOSURE: Paige Box Or Approved Equal
11. PRIMARY: 1/2" Conduit To Disconnect Switch Secure To Wall w/Straps By Others
12. SERVICE SWITCH: Located On Side Of Enclosure

INSTALLATION HARDWARE

- Threaded Rod Will Be Provided Standard (1ft Per Mounting Point). Pipe Spacers Provided Standard. All Other Hardware Is to Be Provided By Installer As Required.
13. RIV-NUTS: 1/4-20. Minimum (3) Per Individual Letter
 14. HARDWARE: Minimum 1/4"Ø Non-corrosive Hardware. Minimum (3) Per Individual Letter. Anti-Crush Spacers As Req'd. Cut To Length In Field

BUILDING & FASCIA CONDITIONS

15. WALL SURFACE: EIFS Over Plywood On Metal Studs.

CHANNEL LETTER INSTALLATION NOTES:

1. Sufficient Primary Dedicated Circuit Within 5' Of Center Of Sign By Others.
2. Final Primary Hook-up By Sign Installer Where Allowed By Local Codes.
3. All Visible Wiring & Conduit To Be Run In Straight Lines & 90° Bends.
4. 15' WHIPS To Be Used For Sign Wiring.
5. Seal All Building Penetrations.
6. Mounting Hardware By Sign Installer Unless Otherwise Noted.

Survey Notes:

- Verify Canopy construction and method of installation of proposed signage
- Verify Roof line location and final frame fabrication and placement.

Sign Installer Notes:

- To Supply & Utilize appropriate installation hardware to meet actual wall conditions; determined @ survey or time of install.
- Complete Final Hookup to Signage, if local code allows & supply is provided @ time of installation.
- All Visible Wiring & Conduit to be Run in Straight Lines & 90° Sweeps.

General Contractor Note:

- G.C. to provide F.R.T. blocking or Sheet metal strapping at signage location as specified by Cima.
- G.C. to provide Primary Power Junction Box @ remote location. Verify final location of Junction Box meet the requirements of permanently accessible for service, & within 5'-0" from signage location.
- G.C. to provide access hatch for sign wiring.

Additional Information Req'd.
info

Engineer: X
License No: X
Building Code: X
Basic Wind Speed: X
Risk Category: X

Exterior, D/F Non-Illuminated Under Canopy Sign

EST WEIGHT: 25 lbs
EST ELECT LOAD: N/A
ELECT REQUIREMENTS: N/A

ULTIMATE WIND SPEED: 137 MPH
NOMINAL WIND SPEED: 125 MPH
RISK CATEGORY: II (3 Sec Peak Gust MPH)
WIND IMPORTANCE FACTOR: I= 1
WIND EXPOSURE: C

WIND-BORNE DEBRIS REGION

COLORS & FINISHES

P1. PANEL & MOUNTING BRACKETS: Satin White
V1. VINYL: 1st Surface 3M 3630-167 Bright Blue

SIGN CONSTRUCTION

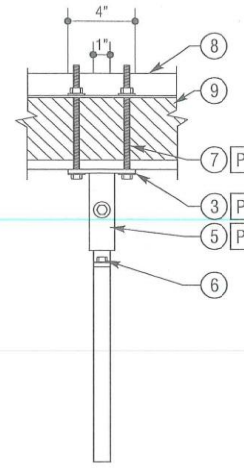
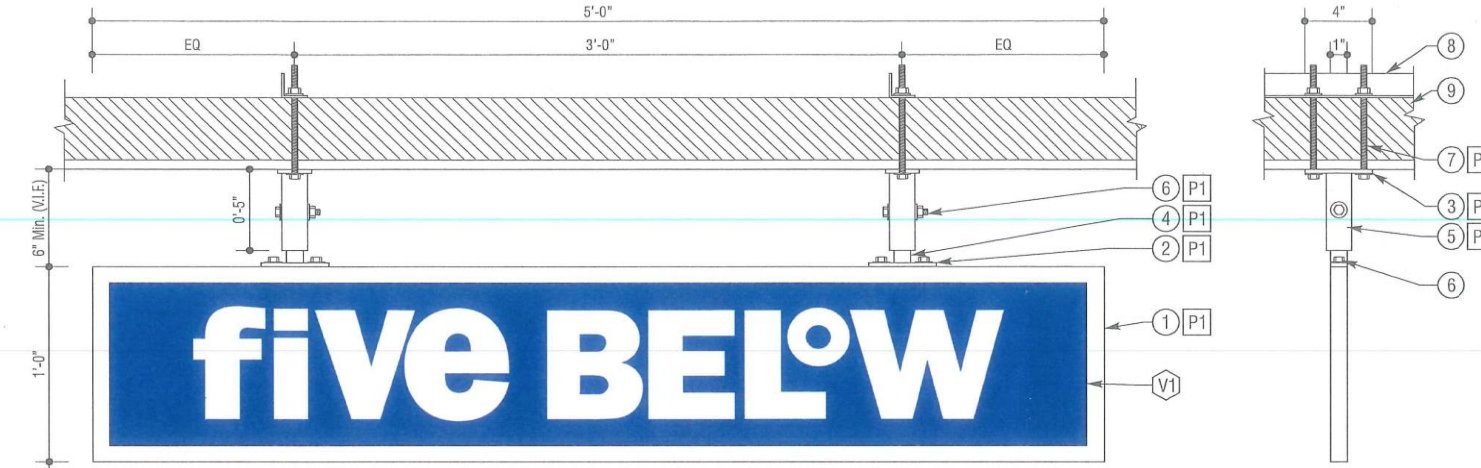
1. PANEL: Fabricated Aluminum Painted P1. Faces To Be .090" Aluminum VHB Taped To 3/4" x 3/4" x 1/2" Aluminum Tube Frame. 1/4"Ø Riv Nuts In Top Of Tube Frame For Mounting
2. PLATE: 1/4" X 1" X 4" Aluminum Flat Bar Painted P1
3. PLATE: 1/4" X 2" X 4" Aluminum Flat Bar Painted P1
- 3a. HOLES: 7/16"Ø For 3/8"Ø Hardware
4. TUBE: 1/8" x 1" x 1" x 24" Aluminum Painted P1
5. TUBE: 1/8" x 1-1/2" x 1-1/2" x 4-3/4" Long Aluminum Painted P1
6. HARDWARE: 1/4"Ø Painted P1

INSTALLATION HARDWARE

7. HARDWARE: 3/8"Ø Non-corrosive Hardware Painted P1. (2) Per Plate
8. SLEEPER: 1/8" X 1-1/2" X 1-1/2" Angle Spanning Minimum (2) Structural Members

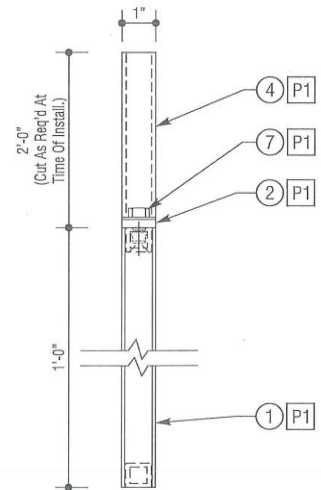
BUILDING & FASCIA CONDITIONS

9. SOFFIT: TBD

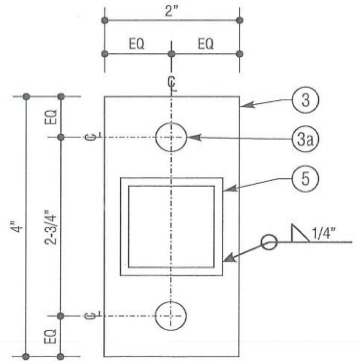


2 **1** D/F Under Canopy Sign - FB-UC 1260 **5.0 sf**
Scale: 1-1/2" = 1'-0"
(1 Required)

2 Side View
Scale: 1-1/2" = 1'-0"



3 Panel Detail - Side View
Scale: 3" = 1'-0"



4 Mounting Plate Detail
Scale: Half

- Survey Notes:**
- Verify height from soffit to grade.
- Sign Installer Notes:**
- To Supply & Utilize appropriate installation hardware to meet actual wall conditions; determined @ survey or time of install.
- General Contractor Note:**
- G.C. to provide F.R.T. blocking or Sheet metal strapping at signage location as specified by Cima.

Additional Information Req'd.

Engineer: X
License No: X
Building Code: X
Basic Wind Speed: X
Risk Category: X

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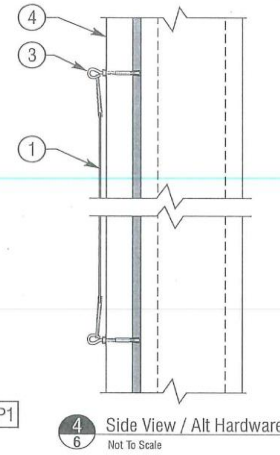
3 **1**/**6** Coming Soon Banner - FB-BNR315-CS
Scale: 3/8" = 1'-0"
(1 Required)



4.a **2**/**6** Grand Opening Banner - Side A - FB-BNR420-DF-GONO
Scale: 3/8" = 1'-0"
(1 Required)



4.b **3**/**6** Now Open - Side B of Grand Opening Banner - FB-BNR420-DF-GONO
Scale: 3/8" = 1'-0"
(1 Required)



5/**6** Storefront Elevation - Grand Opening Banner
Not To Scale

specifications

COLORS & FINISHES

PF1. BANNER: Matte White
P1. PRINT: To Match PMS 285 C

BANNER CONSTRUCTION

1. BANNER: 15oz Briteline Hemmed & Grommeted
2. FONT: "Season Year" & "Month, Day, Year" Franklin Gothic Heavy

INSTALLATION HARDWARE PROVIDED BY LL

3. TYPICAL HARDWARE: HILTI Eyebolts, Provided By LL.
4. ALTERNATIVE HARDWARE: Cord, Provided By Installer, From Grommets To Fasteners, Provided By LL.

BUILDING & FASCIA CONDITIONS

5. WALL SURFACE: Varies / TBD

BANNER INSTALLATION NOTES:

1. Attach Banner to HILTI Eyebolts, Provided By LL. Maximum 2'-0" On Center
2. When Required, Cord, Provided By Installer, From Grommets To Fasteners, Provided By LL, On Fascia Or Rig With Sandbags Of Roof, Etc, Provided By Installer.
3. LL To Provide Special Duration, Size Or Restrictions At Time Of Sign Package Review - Per LL Notes.
4. "Coming Soon" Banner To Be Installed Approximately One Month Prior To Installation Of Wall Signs. Replace w/"Grand Opening" Side Of Double Sided Banner Upon Installation Of Wall Signs. Banner Will Be Flipped Over Day Before The Opening To Read "Now Open" And Will Remain Up An Additional 30 Days.
5. Patch And Repair Fascia Upon Removal Of Banners
6. Seal All Penetrations. (For Eifs, Use Eifs compatible sealant, Dow Corning 790, 791, or 795 At All Penetrations)

Engineer: X
License No: X
Building Code: X
Basic Wind Speed: X
Risk Category: X

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specifications

Exterior, Non-Illuminated Post And Panel Temp Sign

EST WEIGHT: 165 lbs

COLORS & FINISHES

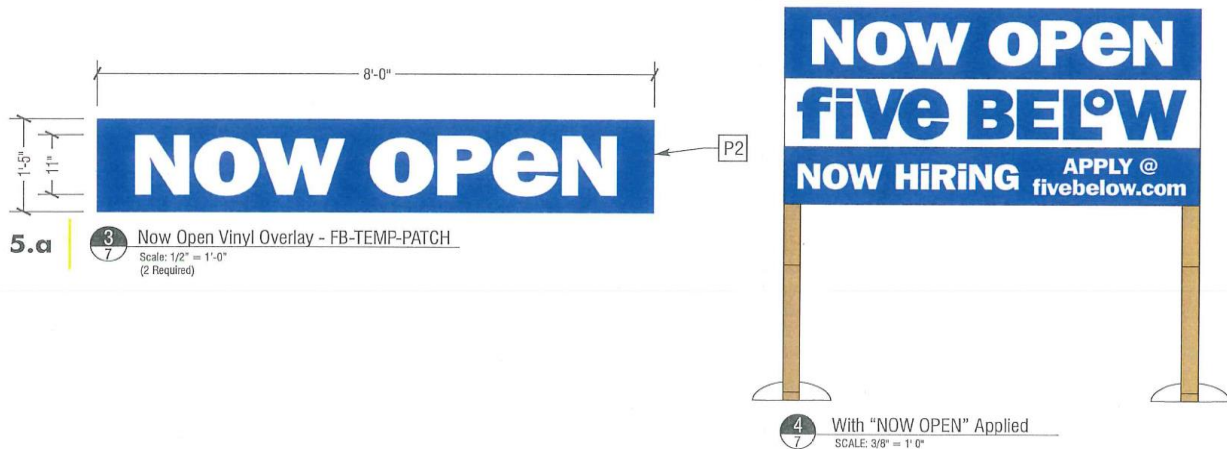
PF1. BANNER: Matte White
 P1. PRINT: To Match PMS 285 C

SIGN CONSTRUCTION

1. **PANEL:** 6mm Thick Coroplast w/1st Surface Direct Print
2. **POSTS:** 4" X 4" Wood Unfinished
3. **HORIZONTALS, KICKERS & BASE:** 2" X 4" Wood Unfinish
4. **HARDWARE:** Bolt All Wood Components Together w/ 3/8" Lag Bolts
5. **HARDWARE:** Screw Coroplast To Wood Structure With Minimum #8 x 1-1/4" Long Non-Corrosive Wood Screws *With Fender Washers*. Max 24" On Center. Paint To Match Sign Panel
6. **SANDBAGS:** (4) 50lb Capacity Sandbags Per Sign Provided By CIMA

ALTERNATIVE INSTALLATION METHOD - DIRECT BURIAL

1. Option For Direct Burial Into Dirt Without Stands/Kickers. No Concrete Required.



Engineer: X
 License No: X
 Building Code: X
 Basic Wind Speed: X
 Risk Category: X

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► **Ward 2**

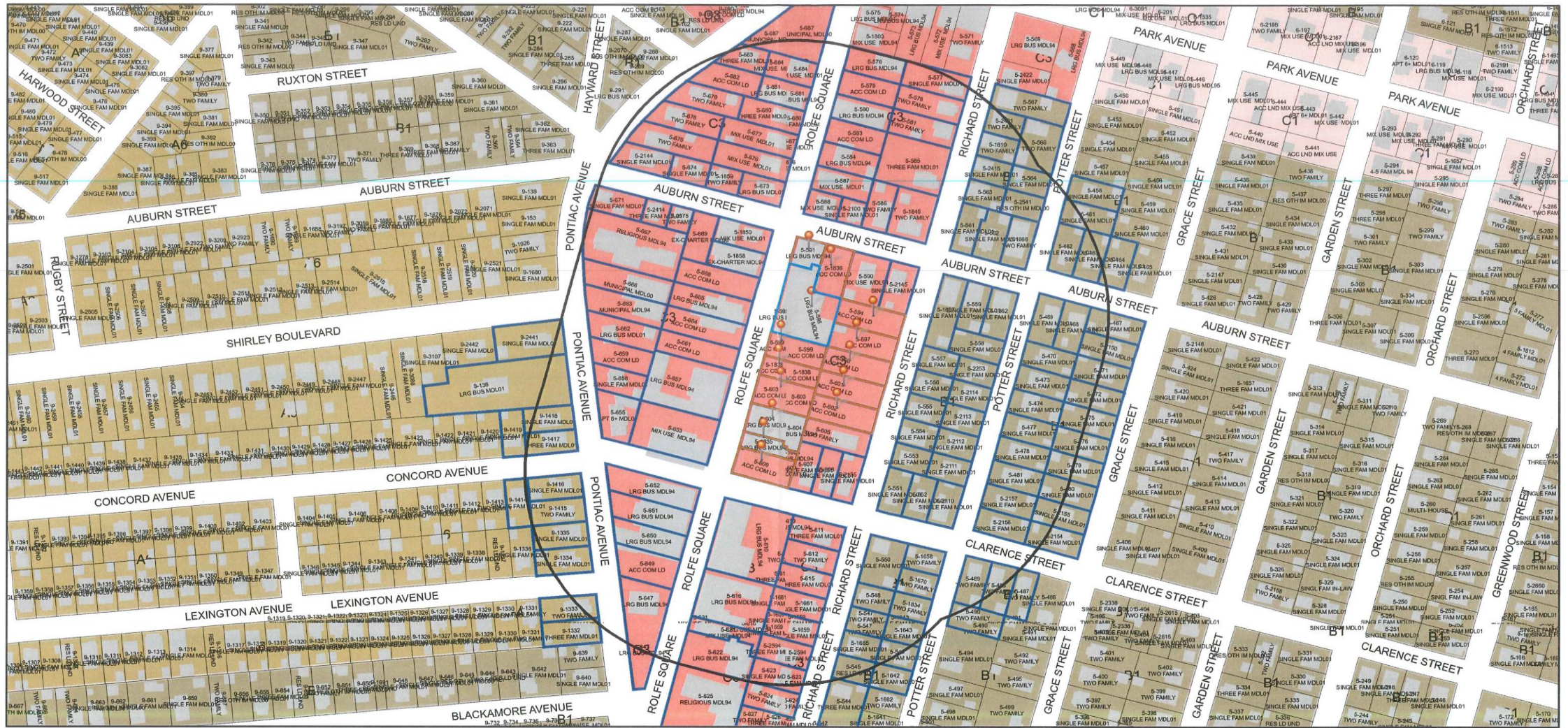
► **FORCE REALTY, LLC (OWN) and A.L. EVENTS, LLC (APP)** have filed an application to allow a banquet facility to operate at **56 Rolfe Square**, A.P. 5, lot 595, area 14,199 s.f., zoned C3.

Applicants seek relief per Section 17.92.010- Variances, Section 17.20.030- Schedule of Uses.

► Application filed 8/08/2023. Robert D. Murray, Esq.

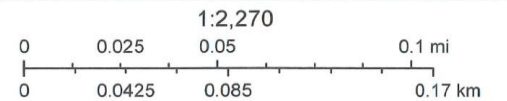


56 Rolfe Sq 400' Radius Plat 5 Lot 595, etc



8/7/2023, 2:50:10 PM

- | | | | | | | | | |
|----------------------------|--|---------------------------|--|-----|--|----|--|-------|
| Selected Parcels in Buffer | | Parcels | | A80 | | B2 | | M1 |
| Selected Parcels | | Buildings | | A20 | | C1 | | M2 |
| Parcels In Buffer | | Zoning Dimensions | | A12 | | C2 | | EI |
| Parcel ID Labels | | Historic Overlay District | | A8 | | C3 | | MPD |
| Streets Names | | Zoning | | A6 | | C4 | | S1 |
| Cranston Boundary | | none | | B1 | | C5 | | Other |



City of Cranston

ROLFE SQUARE
AUBURN STREET
RICHARD STREET
CLARENCE STREET

STREET INDEX



LOCUS MAP

REFERENCES:

- DEED BOOK 656, PAGE 188
(AP 5-1 LOTS 591, 594, 595, 597 & 1836)
DEED BOOK 2845, PAGE 1
(AP 5-1 LOTS 601 & 1838)
DEED BOOK 2845, PAGE 3
(AP 5-1 LOTS 602 & 603)
DEED BOOK 2845, PAGE 8
(AP 5-1 LOTS 598 & 599)

ZONING DISTRICT C-3

MINIMUM LOT AREA:	6,000 S.F.
MINIMUM LOT WIDTH:	60 FT.
MINIMUM LOT FRONTAGE:	60 FT.
MINIMUM SETBACKS	
FRONT:	0 FT.
SIDE:	0 FT.
REAR:	20 FT.
MAXIMUM BUILDING HEIGHT:	35 FT.
MAXIMUM LOT COVERAGE:	100%

EXISTING CONDITIONS PLAN

A.P. 5-1 / LOTS 591, 594, 595, 597, 598, 599, 601, 602, 603, 1836 & 1838

FAYBEN REALTY LIMITED
42, 48 & 68 ROLFE SQUARE AND 51 RICHARD STREET
CRANSTON, R.I. 02910

SCALE: 1"= 20' DATE: JANUARY 28, 2020

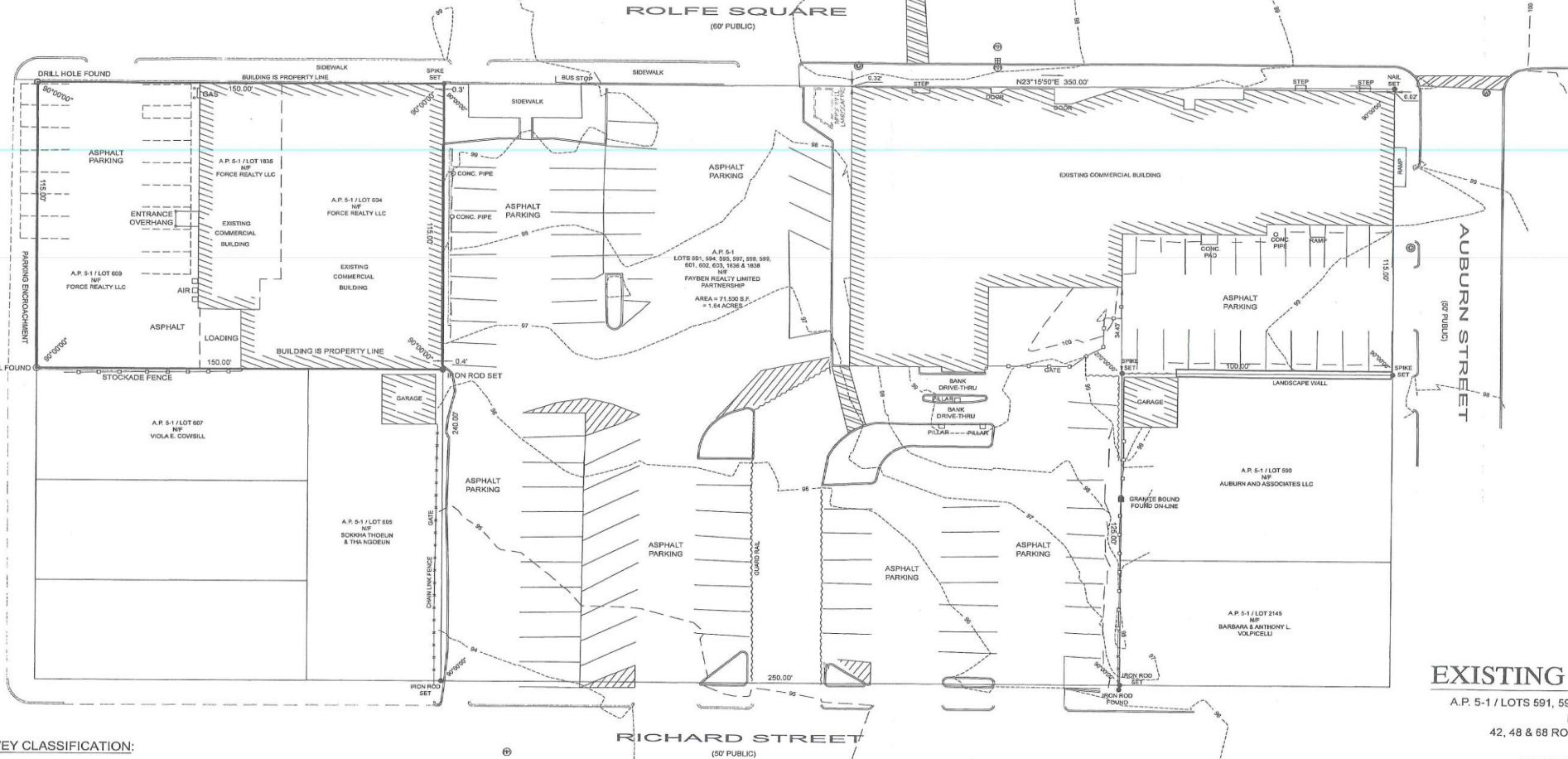
PREPARED FOR:

CHARLES CHIN
622 GEORGE WASHINGTON HIGHWAY
LINCOLN, RI 02865

PREPARED BY:

OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 FAX: (401) 463-9039

JOB NO. 9204 / DWG. NO. 9204 - (CJB)



NOTES:

- THE SUBJECT PARCELS LIE WITHIN FLOOD HAZARD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CRANSTON, MAP NUMBER 44007C0318H, EFFECTIVE DATE OCTOBER 2, 2015.
- THE ELEVATIONS SHOWN ON THIS PLAN REFERENCE AN ASSUMED DATUM.

LEGEND

- AP ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- ⊕ MANHOLE
- ⊕ CATCH BASIN
- ⊕ GAS GATE
- ⊕ WATER GATE
- ⊕ HYDRANT
- ⊕ SEWER MANHOLE

SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS I
DATA ACCUMULATION SURVEY CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES AND SITE TOPOGRAPHY.

BY: *[Signature]* DATE: Feb 5, 2020
BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60

[Signature]





► **Ward 4**

► **BENJAMIN and COLLEEN HANSON (OWN/ APP)** have applied to the Board to allow a new single-family home to be constructed in a C4 zone with reduced front yard setbacks at

► **195 Main Street, A.P. 30, lots 4,5, 124, and 125; area 36,986 s.f.; zoned C4.** Applicants seek relief per Section 17.92.010- Variances, Sections 17.20.030- Schedule of Uses; 17.20.120- Schedule of Intensity Regulations.

► Application filed 8/08/2023. Robert D. Murray, Esq.

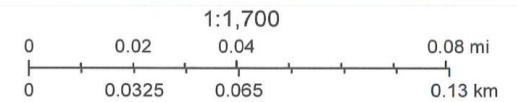


195 Main St 400' Radius Plat 30 Lots 4, 5, 124, 125



7/17/2023, 8:51:37 AM

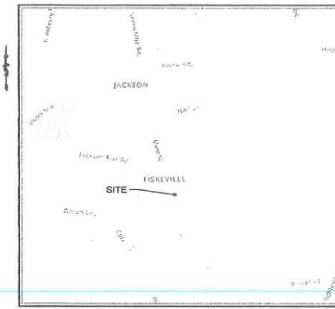
UserSelectedParcels	Parcels	A80	B2	M1
vParcels_Buffer	Buildings	A20	C1	M2
ParcelsInBufferOutput	Zoning Dimensions	A12	C2	EI
Parcel ID Labels	Historic Overlay District	A8	C3	MPD
Streets Names	Zoning	A6	C4	S1
— Cranston Boundary	none	B1	C5	Other



City of Cranston

LEGEND:

- PROPERTY LINE
- ZONING SETBACK LINE
- WETLAND FLAG
- FRESHWATER WETLAND EDGE
- EXISTING FENCE
- EXISTING STONE WALL
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB/SEDM
- EXISTING CULVERT
- UTILITY POLE
- SOIL EVALUATION
- ASSESSOR'S PLAT, LOT
- BUFFER ZONE MARKER



LOCATION MAP
NOT TO SCALE

REFERENCES:

1. EXISTING CONDITIONS SURVEY PERFORMED ON-SITE BY MILLSTONE ENGINEERING, P.C., OCTOBER 2022
2. CITY OF CRANSTON GIS
3. SUBJECT LOT AND ABUTTING DEEDS OF RECORD
4. RIDOT STATE HIGHWAY PLAT 1298

NOTES:

1. EXISTING CONDITIONS SURVEYED BY MILLSTONE ENGINEERING, P.C. APRIL 2021, TOPOGRAPHY BASED UPON NAVD 88 DATUM
2. UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION

FLOOD NOTE:

THIS SITE LIES ENTIRELY WITHIN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE RATE MAPS (FIRM), PROVIDENCE COUNTY, RHODE ISLAND, MAP NUMBER 44007C0406H, MAP REVISED OCTOBER 2, 2015.

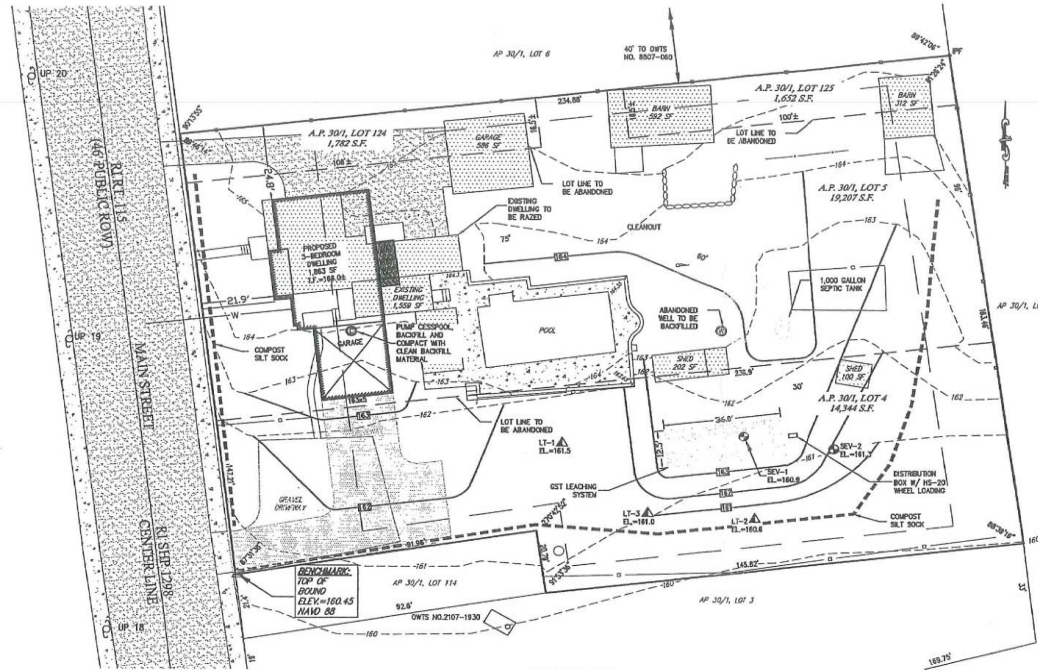
ZONING:

ZONE: COMMERCIAL C-4	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	12,000 S.F.	36,906 S.F. ±	36,906 S.F. ±
MINIMUM LOT WIDTH AND FRONTAGE	120 FT.	142.21 FT. ±	142.21 FT. ±
MINIMUM FRONT YARD SETBACK	40 FT.	21.9 FT. ±	21.9 FT.
MINIMUM REAR YARD SETBACK	20 FT.	155.8 FT.	175.1 FT.
MINIMUM SIDE YARD SETBACK	8 FT.	24.8 FT.	24.8 FT.
MAXIMUM LOT COVERAGE	50%	5%	8.8%
MAXIMUM BUILDING HEIGHT	35 FT.	<15 FT.	<15 FT.

* EXISTING NON-CONFORMING THE SUBJECT PROPERTY IS A RESIDENTIAL LOT WHICH AND IS LEGALLY NON-CONFORMING USE IN A C-4 ZONE. ZONING RELIEF IS REQUIRED TO REPLACE THE EXISTING DWELLING.

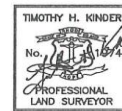
OWNER:

BENJAMIN & COLLEEN HANSON
195 MAIN STREET
FISKEVILLE, RI 02823



SITE PLAN

SCALE: 1" = 20'



CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RIGI-00-01-19 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY I
DATA ACCUMULATION SURVEY III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO PROVIDE AN ACCURATE EXISTING CONDITIONS SURVEY PLAN FOR PROPERTY IMPROVEMENTS.

BY: *TH Kinder* 6-23-2023 DATE
TIMOTHY H. KINDER, PLS LICENSE NO. 1974 COA. NO. A-534 DATE

NO.	DATE	REVISION



MILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING • LAND PLANNING
228 Cranville Road, Building C-2
Warwick, Rhode Island 02886
P: (401) 821-3304 F: (401) 821-3300
www.millstoneeng.com

SITE PLAN

HANSON RESIDENCE

A.P. 30/1, LOT 5
195 MAIN STREET
CRANSTON, RI

PREPARED FOR:
BENJAMIN & COLLEEN HANSON

Scale: 1"=20'
JUNE 2023

Drawn By: JCH
Checked By: JCH
Sheet

1
of 1

FILE NO.: 22.497.753



REVISION TABLE	REVISION NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWING NAME:
 Proposed Rendering

PROJECT FOR:
 Hansen Media Residence
 185 Main Street
 Fitzwilliam, RI 02825

DRAWINGS PROVIDED BY:
 Mod-Tech Homes, LLC
 49 Derry Street, Ste. 206
 Hingham, MA 02043
 781.594.0040

DATE:

9/30/2022

SCALE:

3/8"=1'-0"

SHEET:

P-1

These drawings are schematic and are intended to be illustrations only. Actual house will differ- not for construction use.



 Sign Date September 30, 2022

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWING NAME:
Exterior Elevation Front

PROJECT FOR:
Mansup-Huaky Residence
118 Main Street
Piscataway, NJ 08854

DRAWINGS PROVIDED BY:
Mod-Tech Homes, LLC
41 Derry Street, Ste. 206
Piscataway, NJ 08854
732-940-0400

DATE:

9/30/2022

SCALE:

3/8"=1'-0"

SHEET:

P-2



Exterior Elevation Front



Exterior Elevation Back

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWING NAME
 Exterior Elevation Back

PROJECT FOR
 Murray Woods Residence
 103 Main Street
 Philadelphia, PA 19123

DRAWINGS PROVIDED BY:
 Mod-Tech Homes, LLC
 44 Derry Street, Ste. 306
 Hingham, MA 02043
 Tel: 508.545.0505

DATE:

9/30/2022

SCALE:

3/8"=1'-0"

SHEET:

P-3



Exterior Elevation Left

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWING NAME:
 Exterior Elevation Left

PROJECT FOR:
 Henson-Hedley Residence
 119 Main Street
 Pawtucket, RI 02829

DRAWINGS PROVIDED BY:
 Mod-Tech Homes, LLC
 400 Main Street
 Pawtucket, RI 02829
 Tel: 401-834-0040

DATE:

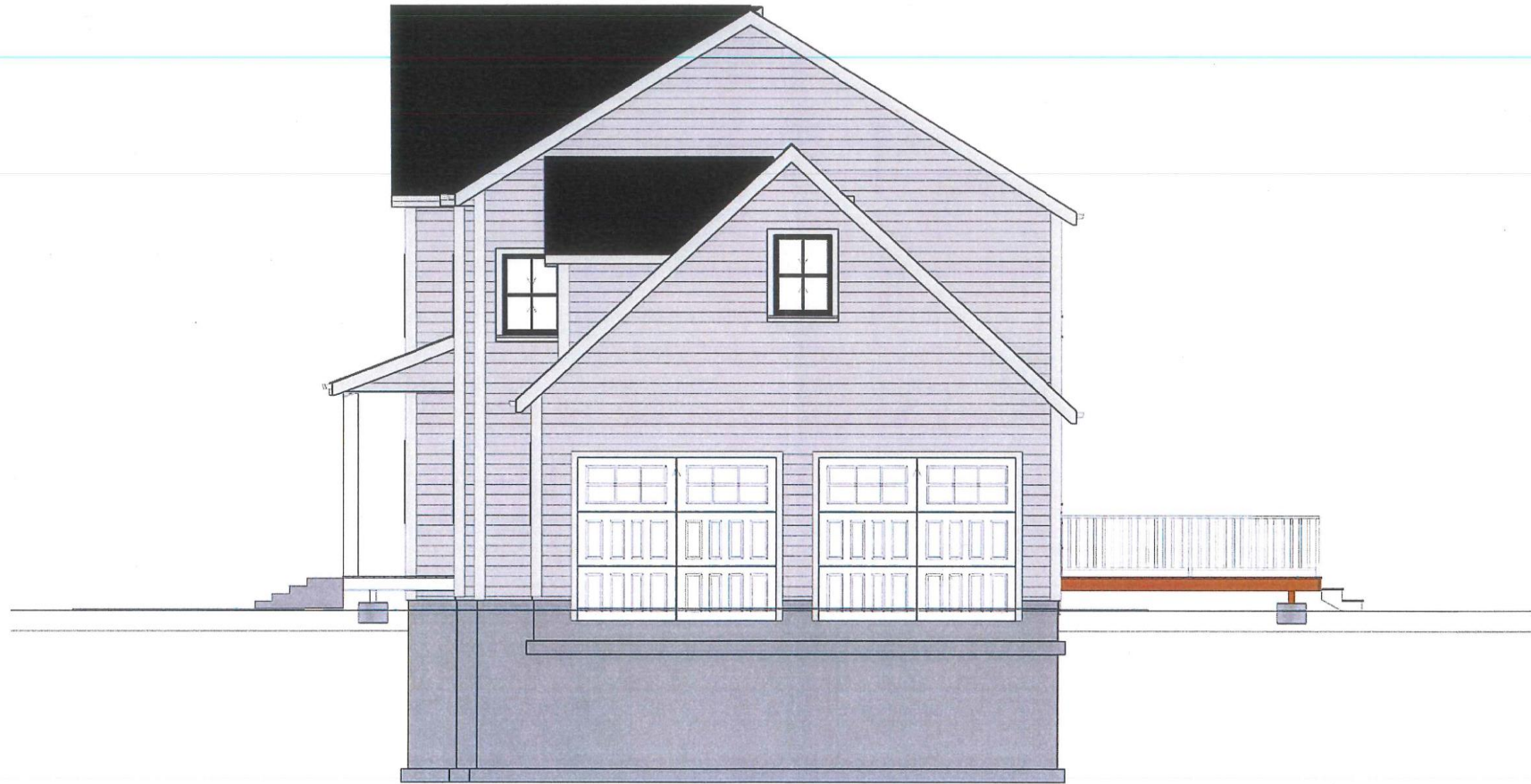
9/30/2022

SCALE:

3/8" = 1'-0"

SHEET:

P-4



Exterior Elevation Right

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWING NAME
Exterior Elevation Right

PROJECT FOR
 Mission Made Residence
 105 Wake Street
 Pawcatuck, RI 02823

DRAWINGS PROVIDED BY:
 Mod-Tech Homes, LLC
 41 Park Street, Ste. 306
 Highgate, MA 02229
 781.254.0340

DATE:
9/30/2022

SCALE:
3/8"=1'-0"

SHEET:

P-5

REVISION TABLE	REVISION BY	DESCRIPTION

DRAWING NAME:
Proposed Main Level

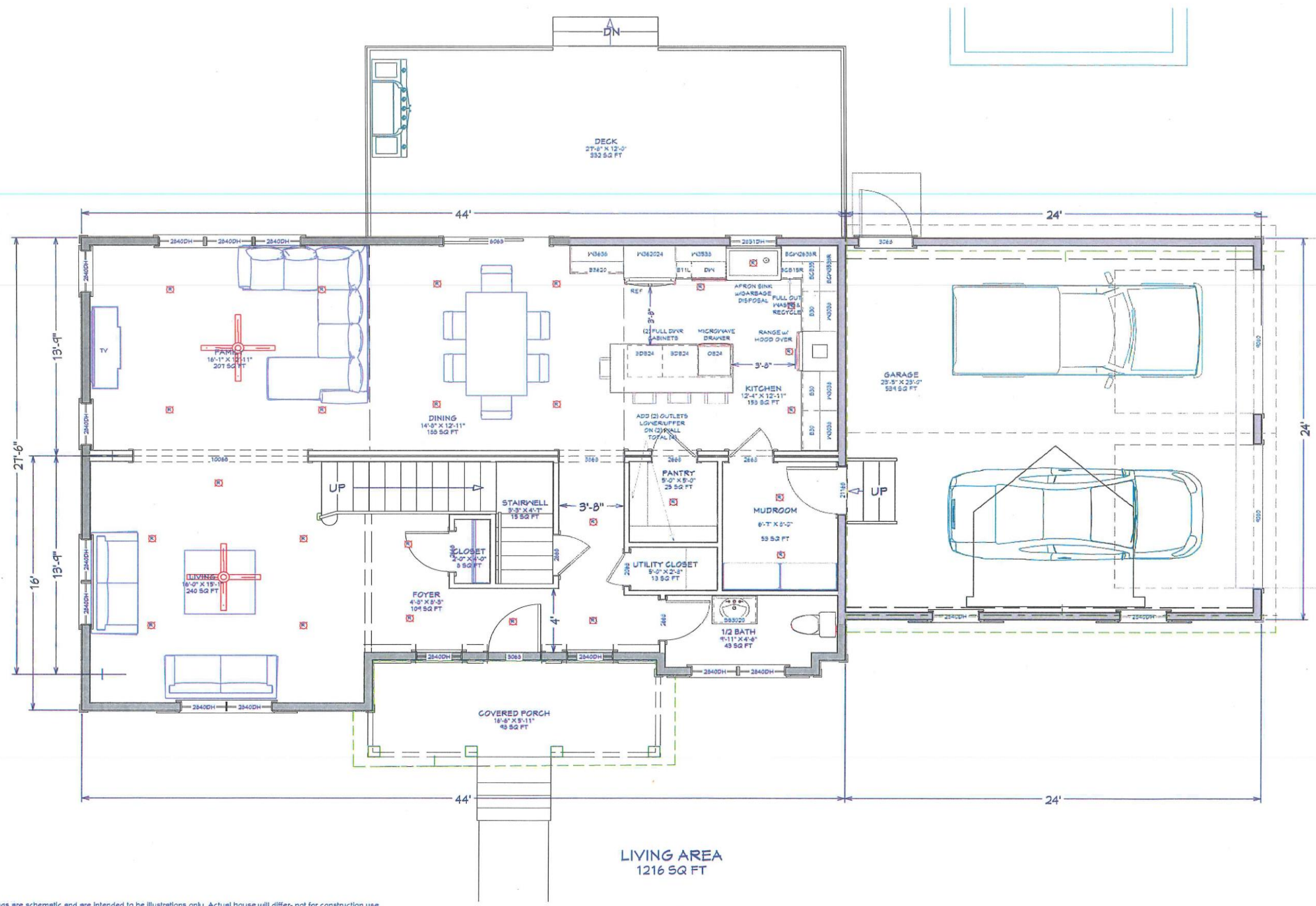
PROJECT FOR:
Hanson-Healey Residence
119 South Street
Falmouth, ME 04240

DRAWINGS PROVIDED BY:
Mod-Tech Homes, LLC
49 Derby Street, Box 306
Hingham, MA 02043
781.834.0040

DATE:
9/30/2022

SCALE:
3/8" = 1'-0"

SHEET:
P-6



LIVING AREA
1216 SQ FT
1st Floor

REVISION TABLE	REVISION NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWING NAME:
Proposed Upper Level

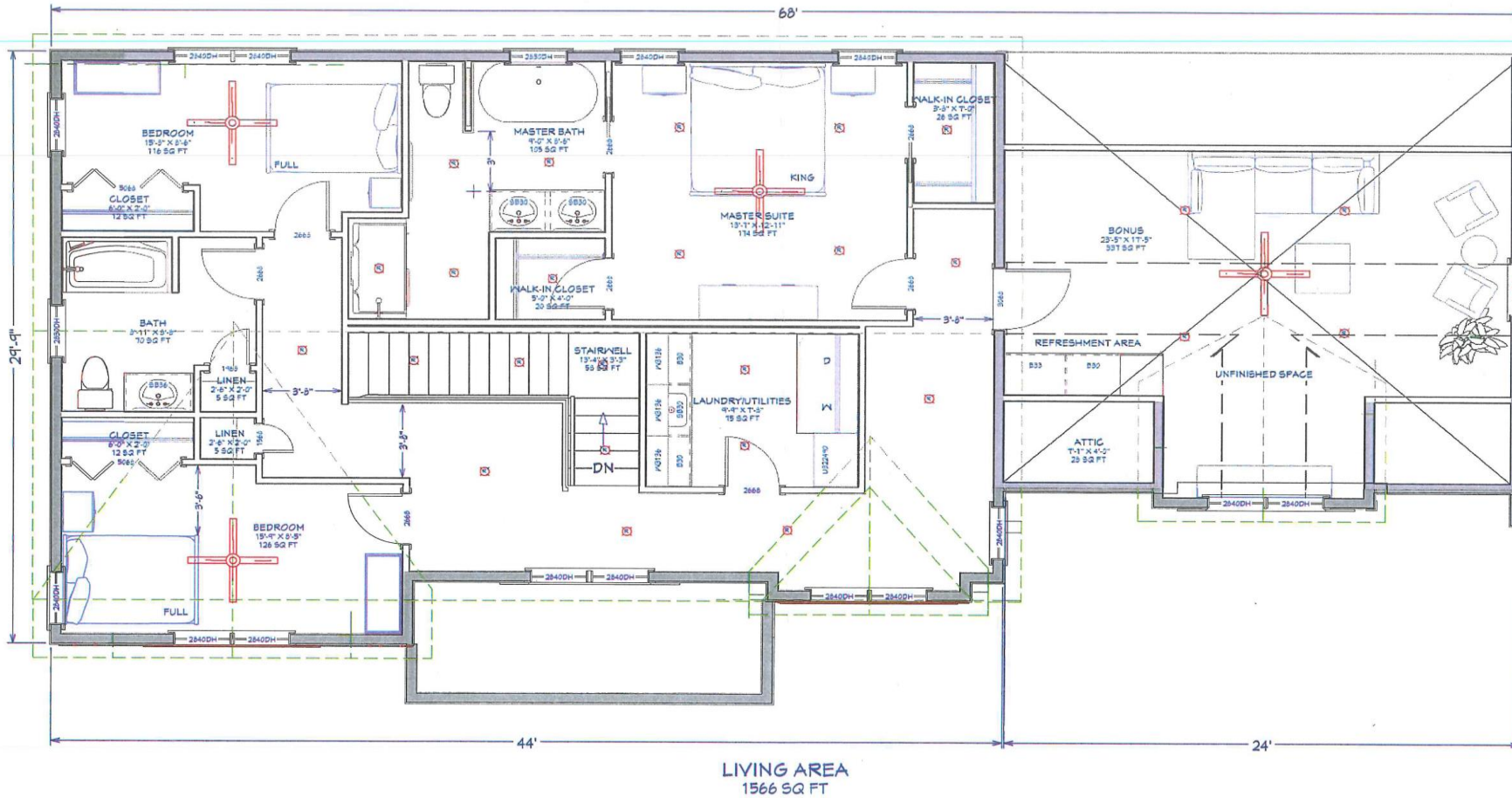
PROJECT FOR:
Hanson Homes Residence
189 Main Street
Pikaele, HI 92123

DRAWINGS PROVIDED BY:
Mod-Tech Homes, LLC
49 Derry Street, Ste. 306
Hingham, MA 02043
781.528.0060

DATE:
9/30/2022

SCALE:
3/8"=1'-0"

SHEET:
P-1



LIVING AREA
1566 SQ FT

2nd Floor

These drawings are schematic and are intended to be illustrations only. Actual house will differ- not for construction use.

Sign: *[Signature]* Date: September 30, 2022

